Construction Documents

Hurricane Laura Building and Site Repairs Calcasieu Parish School Board M.J. Kaufman Classroom Repairs

M.J. Kaufman Elementary School — 301 Tekel Rd. Lake Charles, Louisiana 70607

Project Number: HL-028-04



Issued: 03-28-2023

Calcasieu Parish School Board

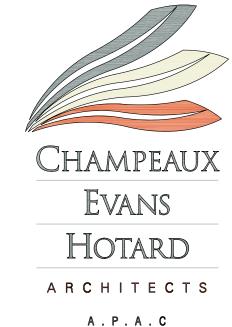
Dr. Shannon LaFarque Superintendent

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District 10	District 11	District 12
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District 13	District 14	District 15

PROFESSIONAL OF RECORD:

CHAMPEAUX EVANS HOTARD + RHH ARCHITECTS, APAC, A JOINT VENTURE





VICINITY MAP:



PROJECT. IMMEDIATELY REMOVE ANY MUD OR DEBRIS DEPOSITED ON ROADS OR SIDEWALKS OUTSIDE THE

HAZARDOUS MATERIALS SHALL BE DEMOLISHED AND DISPOSED BY A QUALIFIED DEMOLITION CONTRACTOR. DEMOLITION AND DISPOSAL SHALL BE IN STRICT ACCORDANCE OF THE HAZARDOUS MATERIALS SPECIFICATION REQUIREMENTS, RE: SPECS.

CONTRACTOR SHALL PERFORM NEW WORK TO COMPLY WITH THE REQUIREMENTS OF THE WARRANTY HOLDER

COMPLETE SCOPE OF WORK AND SHALL PROVIDE WRITTEN COPIES OF WARRANTY HOLDER'S INSPECTIONS AND RECOMMENDATIONS TO THE OWNER AND DESIGN TEAM FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK,

SO AS NOT TO VOID THAT WARRANTY. CONTRACTOR SHALL BE REQUIRED TO OBTAIN NECESSARY WARRANTY HOLDER INSPECTIONS (BOTH BEFORE AND AFTER PERFORMANCE OF THE WORK) IN ORDER TO DETERMINE A

AT BUILDINGS COVERED BY EXISTING ROOF WARRANTIES WHERE NEW WORK TIES IN WITH EXISTING

GENERAL NOTES:

- EXECUTION OF THE WORK INCLUDING THE COMPLETION OF SUCH WORK SHALL BE SECURED BY AND PAID FOR BY THE CONTRACTOR. ALL PERMITS AND APPROVALS SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY WORK. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL CONSTRUCTION DOCUMENTS AS APPROVED BY ALL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL COORDINATE ALL NECESSARY INSPECTIONS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION WITH SAID AUTHORITIES HAVING JURISDICTION FOR THE SUBJECT PROJECT.
- 4. PRIOR TO, AND AS A CONDITION OF BIDDING, ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE REQUIRED TO VISIT THE SITE TO FULLY AND THOROUGHLY APPRISE THEMSELVES OF THE EXISTING CONDITIONS. ACCESS REQUIREMENTS, AVAILABLE STORAGE AND LAY-DOWN AREAS, AND OTHER CONDITIONS PARTICULAR TO THE
- PROJECT, AND SHALL MAKE ALLOWANCES FOR THE SAME IN THEIR BID PROPOSAL. PRIOR TO BIDDING, THE CONTRACTOR SHALL VISIT AND INSPECT THE BUILDING SITES INCLUDED IN THIS PHASE 1, INCLUDING THE AREAS IN, AROUND, ON, AND ADJACENT TO THOSE BUILDINGS, ALL ROOF AREAS PARKING AREAS, DRIVES, SIDEWALKS, AND GRASS AREAS, ASSOCIATED WITH THOSE BUILDINGS, TO DETERMINE HE QUANTITY OF DEBRIS WHICH SHALL BE REMOVED. THE CONTRACTOR SHALL INCLUDE IN HIS BI PROPOSAL THE COMPLETE REMOVAL OF ALL DEBRIS, OF WHATEVER TYPE OR ORIGIN, FROM THOSE AREAS, AND SHALL DISPOSE OF THE SAME IN A LAWFUL MANNER.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXTENT, NATURE AND SCOPE OF WORK DESCRIBED IN THESE DOCUMENTS AND SHALL COORDINATE WITH THE ARCHITECT WORK SHOWN AND DESCRIBED IN THESE DOCUMENTS. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, DELIVERY, HANDLING, SERVICES, SUPERVISION AND QUALITY CONTROL NECESSARY TO EXECUTE ALL WORK AS SHOWN ON THE DRAWINGS EXCEPT HERE SPECIFICALLY NOTED AS NOT IN CONTRACT (NIC). THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THAT OF ALL TRADES INCLUDING THOSE OPERATING UNDER SEPARATE CONTRACTS WITH THE OWNER (IF ANY). ALL WORK SHALL BE BY SKILLED AND
- QUALIFIED WORKERS IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED. THE CONTRACTOR SHALL SECURE FROM THE ARCHITECT ANY ADDITIONAL INFORMATION, IF NECESSARY, THAT MAY BE REQUIRED FOR A COMPLETE CLEAR AND FULL UNDERSTANDING OF THE WORK, TO ESTABLISH THE COMPLETE SCOPE OF WORK, AND TO ACHIEVE CLOSE COORDINATION BETWEEN ALL TRADES. EACH TRADE SHALL COMPLETELY REVIEW ALL DRAWINGS, NOT ONLY THE DRAWINGS FOR HIS RESPECTIVE TRADE, BUT ALSO FOR THE WORK OF ALL OTHER TRADES AS WELL. NO TRADE SHALL PROCEED WITH ORDERING OR INSTALLATION OF ANY MATERIALS AND/OR EQUIPMENT WITHOUT FIRST COORDINATING WITH ALL OTHER TRADES. CONTRACTOR SHALL COORDINATE SUBCONTRACTOR'S WORK REQUIREMENTS TO ENSURE THAT WORK CAN PROCEED CONTINUOUSLY AND EXPEDITIOUSLY AND WILL PROVIDE THE BEST RESULTS FOR THE COMPLETED WORK. TITLES AND NAMES ON DRAWINGS ARE PROVIDED MERELY FOR CONVENIENCE AND SHALL NOT BE
- CONSTRUED AS A SEGREGATION OF THE UNITS OF MATERIALS AND/OR LABOR INTO TRADES. 8. ALL DIMENSIONS, ANGLES, ELEVATIONS, CONDITIONS AND PHYSICAL CONFIGURATIONS RELATIVE TO EXISTING CONDITIONS SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION. BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. ANY DIFFERENCES FOUND BETWEEN ACTUAL AND THOSE INDICATED ON DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION PRIOR TO BID.
- 9. DO NOT SCALE ANY DRAWINGS WITHOUT SPECIFIC PERMISSION OF THE ARCHITECT. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE, UNLESS OTHERWISE NOTED. CONSULT ARCHITECT FOR DIMENSIONS NOT SHOWN. 10. ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT FOR INTERPRETATION OR CORRECTION BEFORE WORK IS EXECUTED. HOWEVER, IN THE EVENT A DISCREPANCY IS
- FOUND, THE CONTRACTOR SHALL PROVIDE THE MORE EXPENSIVE ITEM. 11. THE CONSTRUCTION DOCUMENTS FOR THE SUBJECT PROJECT SHALL BE PRESENT ON SITE AT ALL TIMES. STATE FIRE MARSHAL STAMPED CONSTRUCTION DOCUMENTS SHALL BE STORED IN A SECURE LOCATION BY THE CONTRACTOR AND SHALL BE PRESENT AT THE SITE AT THE TIME OF THE STATE FIRE MARSHAL'S FINAL
- 12. CONTRACTOR SHALL CONDUCT ALL WORK IN AN ORDERLY AND PROFESSIONAL MANNER SO AS NOT TO DISRUPT THE OWNER'S ACTIVITY, ANY ADJACENT LANDOWNERS OR PUBLIC WAYS. 13. THE CONSTRUCTION DOCUMENTS ARE INTENDED TO DEFINE THE GENERAL DESIGN AND SCOPE OF THE WORK REQUIRED TO COMPLETE THE SUBJECT PROJECT. IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE FOR COMPLETE AND FINISHED WORK AND SYSTEMS. ANY OMISSIONS IN THESE NOTES OR IN THE CONSTRUCTION DOCUMENTS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY THE SCOPE OF WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED.
- 14. ALL MISCELLANEOUS COMPONENTS, PARTS, ANCHORS, ACCESSORIES, MEANS OF INSTALLATION, AND OTHER INCIDENTAL ITEMS REQUIRED FOR COMPLETE ASSEMBLY/INSTALLATION OF AN ITEM OR SYSTEM SHALL BE PROVIDED, WHETHER OR NOT SPECIFICALLY NOTED OR SPECIFIED. THE CONTRACTOR SHALL INCLUDE ALL COMPONENTS WHICH ARE NORMALLY INCIDENTAL TO THE WORK. THOSE COMPONENTS WHICH ARE REQUIRED AS AN ESSENTIAL AESTHETIC, FUNCTIONAL, OR CODE REQUIRED ELEMENT OF THE WORK ARE TO BE INCLUDED. ANY WORK OR MATERIAL THAT IS NOT DIRECTLY OR INDIRECTLY NOTED ON THE DRAWINGS BUT IS NECESSARY FOR THE PROPER CARRYING OUT OF THE OBVIOUS INTENTION IS TO BE UNDERSTOOD AS "IMPLIED" AND IS TO BE PROVIDED BY THE CONTRACTOR AS FULLY AS IF SPECIFICALLY DESCRIBED OR DELINEATED HEREIN
- 15. ALL ELECTRICAL WORK SHALL CONFORM TO THE APPLICABLE ELECTRICAL CODE, NFPA 70-93 (LATEST EDITION) AND BE DONE TO THE HIGHEST COMMERCIAL STANDARDS. ALL ELECTRICAL WORK SHALL CONFORM TO LOCAL REQUIREMENTS; ALL ELECTRICAL WORK SHALL BE PERFORMED BY LICENSED ELECTRICIANS, PROPERLY LICENSED TO DO COMMERCIAL WORK WITHIN THE STATE IN WHICH THE WORK IS BEING PERFORMED. ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE UL APPROVED AND LABELED FOR THE
- INTENDED USE. 16. THE CONTRACTOR SHALL FULLY COMPLY WITH EPA AND LOCAL STORM WATER REGULATIONS, POLLUTION PREVENTION PLAN AND LAND DISTURBANCE PLAN.
- 17. THE CONTRACTOR SHALL COORDINATE ALL STAGING AND PARKING WITH THE OWNER'S REPRESENTATIVE. A REPRESENTATIVE SHALL BE PRESENT AT THE PRE-CONSTRUCTION MEETING. THE CONSTRUCTION OPERATIONS OF THE CONTRACT MAY NOT CAUSE ANY OBSTRUCTION TO THE FREE FLOW OF TRAFFIC ON THE CAMPUS WITHOUT THE PRIOR AUTHORITY OF THE OWNER.
- 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIR AND/OR REPLACEMENT OF EXISTING LAWNS, DITCHES, CONCRETE SIDEWALKS, FENCING OR ANY OTHER STRUCTURES, INCLUDING UTILITIES DAMAGED BY THE CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION SITE SURVEY WITH OWNER'S REPRESENTATIVE SO THAT ANY SUCH ELEMENTS NEEDING REPAIR OR WHICH ARE ALREADY DAMAGED IN ANY MANNER, MAY BE PROPERLY IDENTIFIED, DESCRIBED, AND RECORDED WITH THE OWNER. IF NO SUCH DAMAGE IS RECORDED, THEN ANY STRUCTURES OVER WHICH THE CONTRACTOR HAS CROSSED DURING CONSTRUCTION WHICH ARE LATER FOUND TO BE DAMAGED, SHALL BE CONSIDERED DAMAGED BY THE CONTRACTOR AND SHALL BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR AS NECESSARY TO RETURN DAMAGED ITEMS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER AT NO COST TO THE
- 19. THE CONTRACTOR SHALL NOT PERMIT TRASH AND DEBRIS TO ACCUMULATE IN THE BUILDING OR ON THE GROUND IN THE VICINITY OF THE BUILDING. GC SHALL ESTABLISH AND MAINTAIN A REGULAR DAILY ROUTINE
- FOR REMOVING TRASH AND DEBRIS AND HAULING IT AWAY FROM THE PREMISES. 20. PROTECT ALL SITE DRAINAGE STRUCTURES FROM SOIL OR DEBRIS CONTAMINATION FOR THE DURATION OF THE

DESIGN CRITERIA:

DRAWINGS INDEX:

ARCHITECTURAL

A1.0 DEMO FLOOR PLAN & DEMO REFLECTED CEILING PLAN

A1.1 NEW FLOOR PLAN & NEW REFLECTED CEILING PLAN

A1.2 INTERIOR ELEVATIONS & MILLWORK DETAILS

A1.3 EXISTING PHOTOS A1.4 EXISTING PHOTOS

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REVISION





DEMO FLOOR PLAN LEGEND

--- GYPSUM BOARD TO BE REMOVED. HEIGHT NOTED.

VCT FLOOR TO BE REMOVED

---- MISCELLANEOUS DAMAGE TO BE REMOVED

<u>DEMO KEYNOTES</u>

1D REMOVE RUBBER BASE

2D REMOVE VCT THROUGHOUT 3D REMOVE GYPSUM BOARD UP TO 9'-0".

4D REMOVE DAMAGED MILLWORK

5D TACK BOARD, MARKERBOARD, AND MONITOR TO BE REMOVED. SET ASIDE FOR REINSTALLATION.

6D REMOVE GUTTER

7D REMOVE DOWNSPOUT

8D REMOVE GYPSUM BOARD AT BOTTOM OF TRUSS ABOVE TO EXTENTS INDICATED.

9D REMOVE EXISTING LOOSE INSULATION

10D REMOVE CEILING TILES AND GRID THROUGHOUT.

11D REMOVE AND DISCONNECT ALL MECHANICAL GRILLS (4 DIFFUSERS). SET ASIDE FOR

REINSTALLATION.

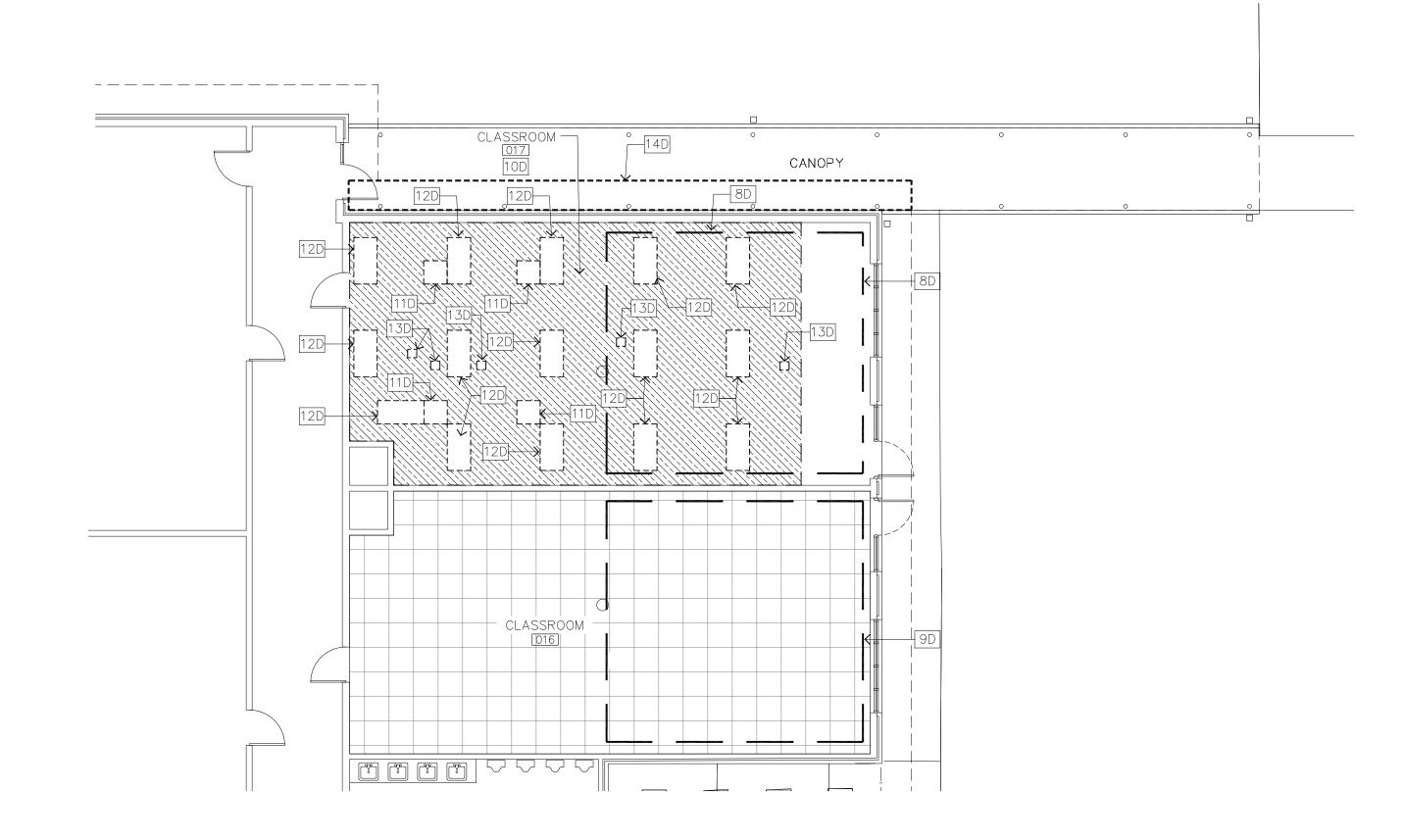
12D REMOVE AND DISCONNECT ALL LIGHT FIXTURES (15 LIGHT FIXTURES). SET ASIDE FOR REINSTALLATION.

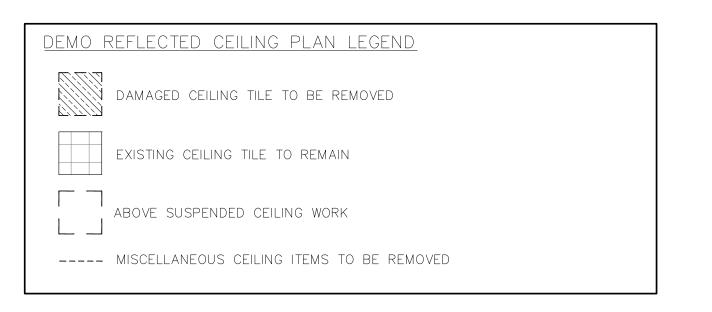
(3 EXISTING LIGHT FIXTURES ALREADY SET ASIDE FOR REINSTALLATION.

13D REMOVE AND DISCONNECT ALL SPECIALITY DEVICES. SET ASIDE FOR REINSTALLATION.

14D REMOVE DAMAGED SOFFIT PANELS

15D REMOVE AND DISCONNECT EXISTING SINK AND SET ASIDE FOR REINSTALLATION.

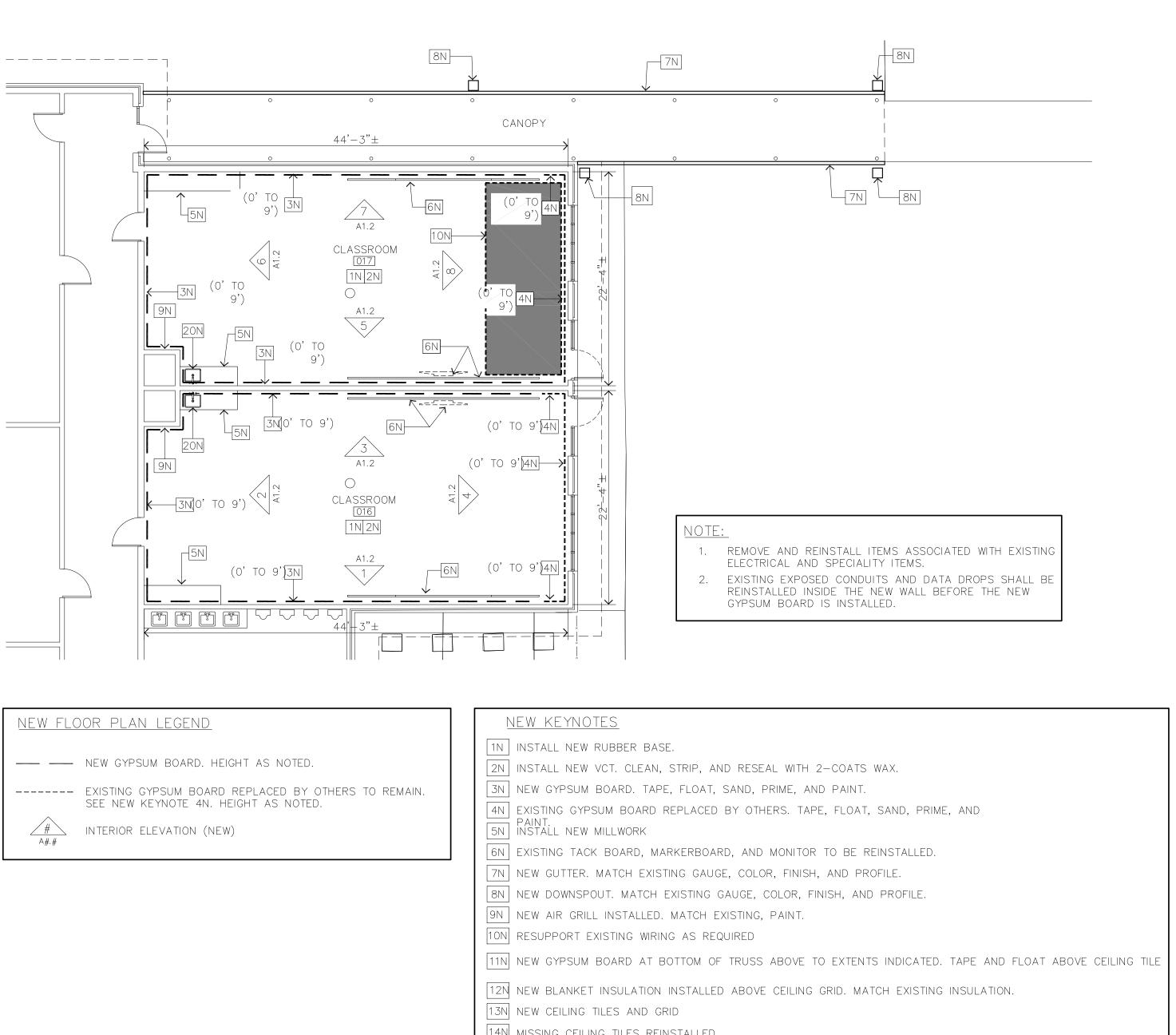


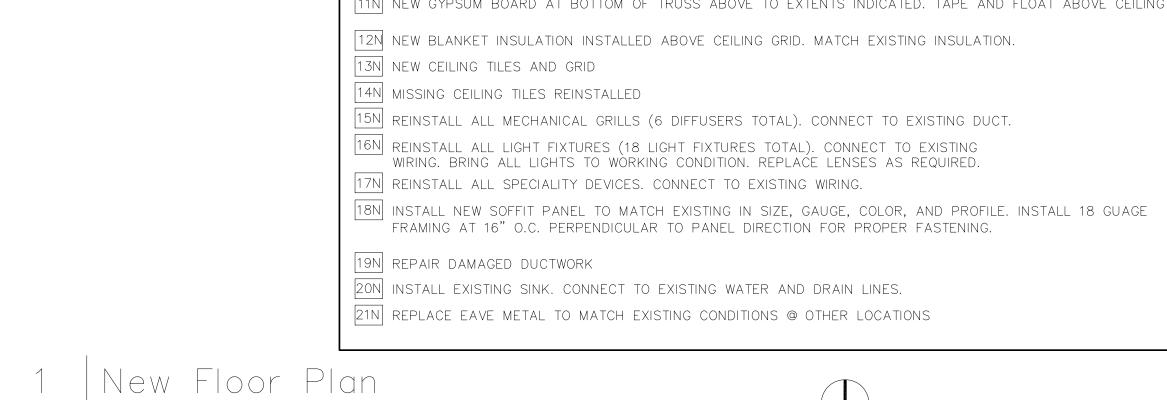


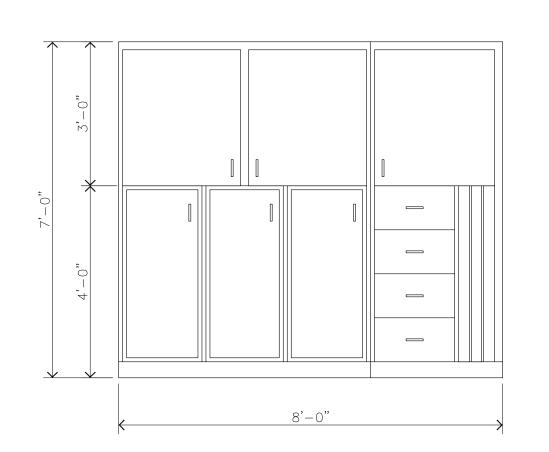
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REVISION DATE

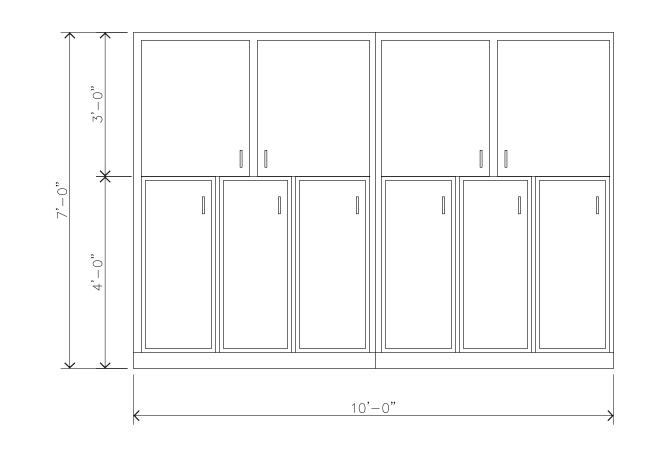






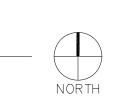


1/8"=1'-0" Classroom 016 & Classroom 017



| Millwork Elevation 1/2"=1'-0" Classroom 016

| Millwork Elevation 1/2"=1'-0" Classroom 017



Existing Millwork Photo

1. REMOVE AND REINSTALL ITEMS ASSOCIATED WITH EXISTING

2. EXISTING EXPOSED CONDUITS AND DATA DROPS SHALL BE REINSTALLED INSIDE THE NEW WALL BEFORE THE NEW

ELECTRICAL AND SPECIALITY ITEMS.

GYPSUM BOARD IS INSTALLED.

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2 New Reflected Ceiling Plan 1/8"=1'-0" Classroom 016 & Classroom 017

CLASSROOM 016

ABOVE SUSPENDED CEILING WORK

REINSTALLED

NEW SOFFIT PANELS

---- MISCELLANEOUS CEILING ITEMS TO BE



NEW REFLECTED CEILING PLAN LEGEND

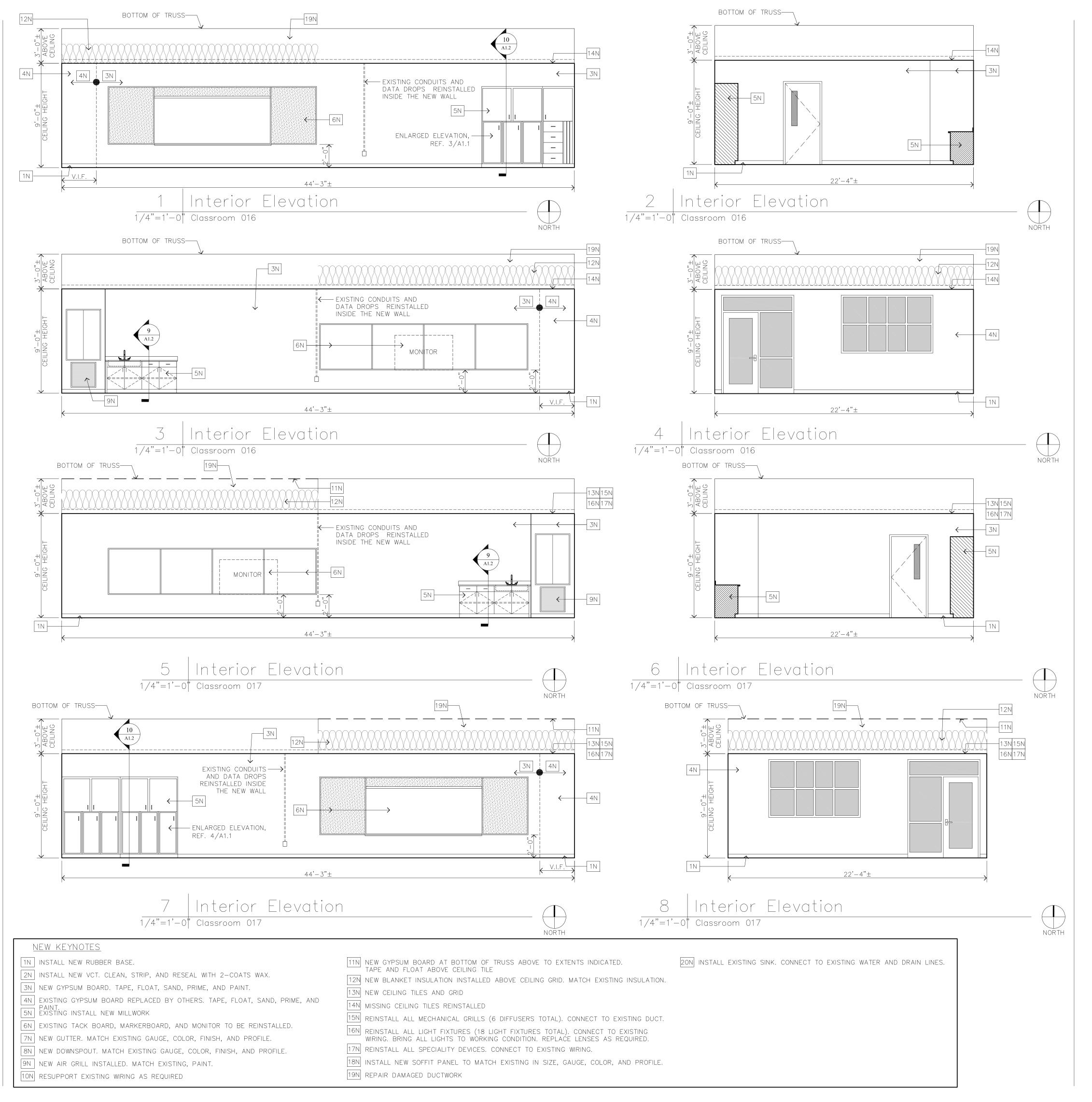
NEW CEILING TILE AND GRID

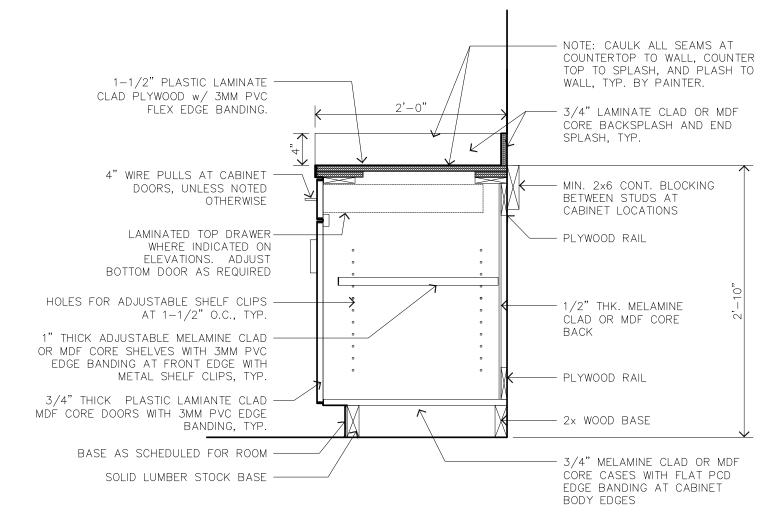
KISTING CEILING TILE REINSTALLED

EXISTING CEILING TILE TO REMAIN

6 Existing Millwork Photo
No Scale Classroom 017

CANOPY





9 Typ. Millwork Section

MAG CATCH (HEAVY DUTY) 2 PER DOOR -1" THICK PLASTIC LAMINATE CLAD MDF — CORE DOOR WITH 3MM PVC EDGE BANDING, TYP. 1" THICK ADJUSTABLE LAMINATE CLAD — MDF CORE SHELVES WITH 3MM PVC EDGE BANDING AT FRONT EDGE WITH METAL SHELF CLIPS, TYP. DOOR PULLS -MAG CATCH (HEAVY DUTY) 2 PER DOOR — WOODEN CLOSET ROD -1" THICK PLASTIC LAMINATE CLAD MDF -CORE DOOR WITH 3MM PVC EDGE BANDING, TYP. 3/4" THICK PLASTIC LAMINATE CLAD -MATERIAL AT SIDES AND BACK (TYP) 2" X WOOD BASE — RUBBER BASE — 2"

10 Typ. Millwork Section

Sant Engineers

& Civil Engineering

DG Engineering

MEP Engineering

MEP HOTARD

HOTARD

Construction Documents for Hurricane Laura Building and Site Re Calcasieu Parish School Board Moss Bluff Campus Sites

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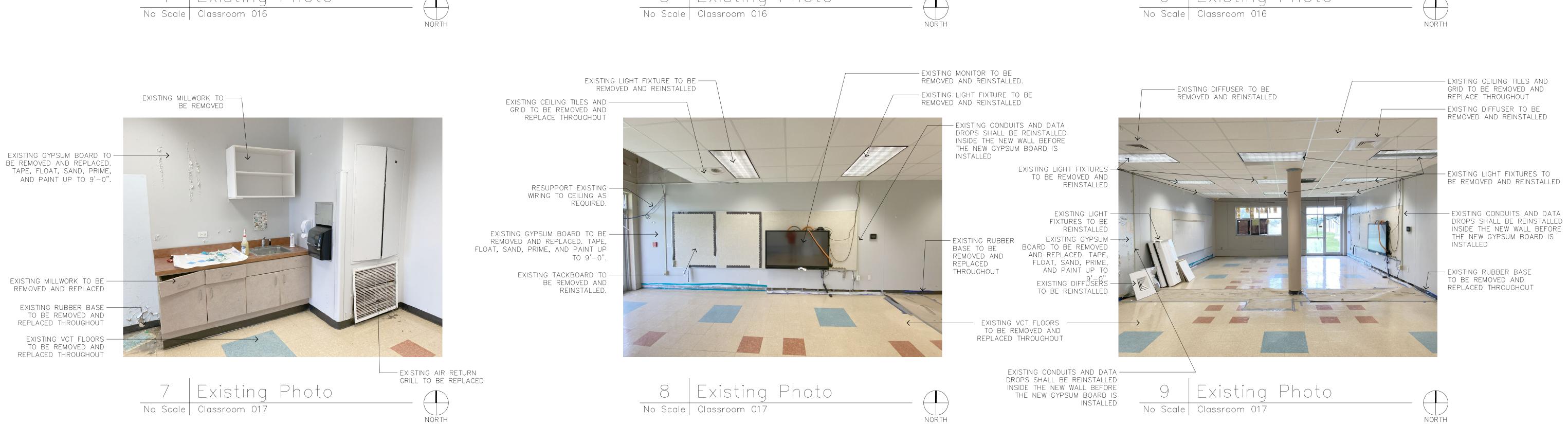
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REVISION

— EXISTING GYPSUM BOARD TO BE REMOVED AND REPLACED. TAPE, FLOAT,

SAND, PRIME, AND PAINT

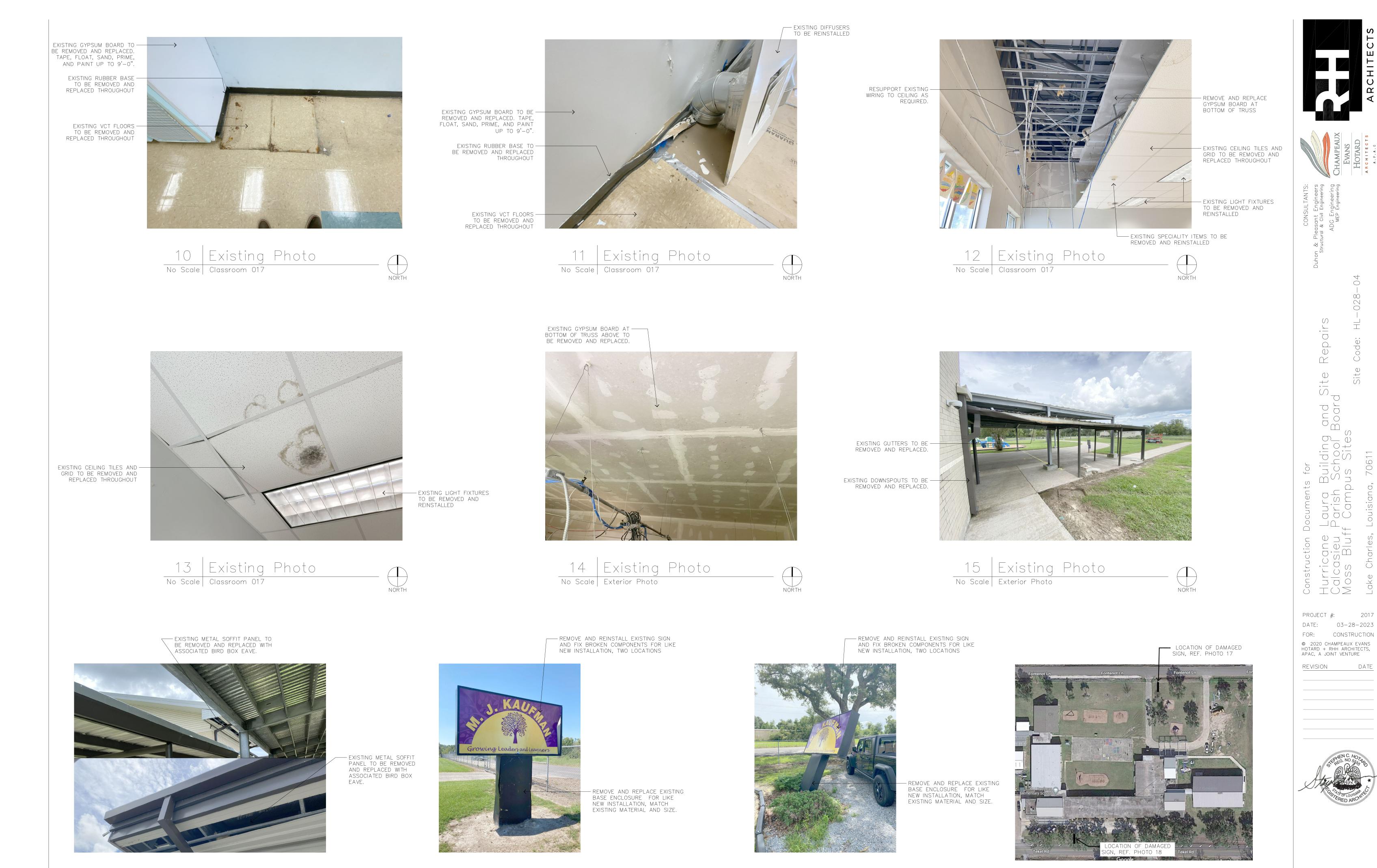
- EXISTING RUBBER BASE

TO BE REMOVED AND REPLACED THROUGHOUT

— EXISTING VCT FLOORS TO BE REMOVED AND REPLACED THROUGHOUT

TO BE REPLACED

UP TO 9'-0".



Existing Photo

No Scale Exterior Photo

19 Site Plan

No Scale | Signage Location

Existing Photo

No Scale Exterior Photo

16 Existing Photo

No Scale Classroom 017